

NOTICE TO PROPERTY OWNERS

CALL 811 & TEXAS

WATER UTILITIES

BEFORE YOU DIG!

(TEXAS WATER

UTILITIES IS NOT

INCLUDED IN THE 811)

335 Geronimo
Quitman, Texas 75783

Phone: 903-878-7051
E-mail: hvclubhouse@hvfpoa.com
Website: holidayvillagefork.com

HV of Fork Owners Association

NOTICE TO OWNER

Please be aware that a storage building/garage may not be used for overnight accommodation or sleeping quarters. Plumbing and plumbing fixtures are not allowed in storage buildings or garages. These restrictions are plainly outlined in the Deed Restrictions that you should have received at the time you purchased your property. (see website) Should you or anyone else use the storage building/garage for overnight sleeping quarters, you will be subject to having a suit filed against you for violation of the Deed Restrictions and could face a possible fine of \$200 per violation. Each night spent would constitute a separate violation.

****PROPERTY OWNERS MUST SCHEDULE BUILDING DELIVERY WITH PROPERTY MANAGER FOR ALL BUILDINGS BEING BROUGHT IN TO THE SUBDIVISION-CONTACT NUMBER TO SECHEULE IS 903-878-7051****

BUILDING PERMIT HOLIDAY VILLAGES FORK SUBDIVISION

Please be advised that construction cannot commence until this application for a building permit has been approved by the Architectural Review Authority (ARA) No permits will be approved without pictures and/or building plans for all dwellings, prefabricated cabins, storage buildings, carports, garages, etc. All manufacturing dates will be required on all buildings. No mobile homes over 5 years old will be approved

Before you place any fixed improvements on your property you should have an independent property survey prepared by a registered professional surveyor. Prior to placing the property on the market the developer had a survey in which all lots were staked and a plat was recorded. However, utility companies and property owners destroy stakes and move them which could affect the improvements placed on your property. Do not rely solely on the pins as they appear unless you have a survey done THE ASSOCIATION HAS NO LIABILITY FOR IMPROVEMENTS THAT ARE PLACED INCORRECTLY ON YOUR PROPERTY. IF ANY OF YOUR IMPROVEMENTS ARE CONSTRUCTED OR PLACED ON THE WRONG LOT OR ENCROACH ON EASEMENT AREAS OR FAIL TO COMPLY WITH SETBACK LINES. IT WILL BE YOUR RESPONSIBILITY TO HAVE THE IMPROVEMENTS MOVED.

Date: _____

Subdivision: _____

Lot(s) _____ Section: _____

Property Owner Signature:

PLEASE MAIL TO:-

Holiday Villages — Building Permits
335 Geronimo
Quitman, Texas 75783

E-Mail: hvclubhouse@hvf.com

PERMIT MUST BE OBTAINED FOR ALL IMPROVEMENTS, INCLUDING PORCHES, DECKS, STEPS, DRIVEWAYS AND ADD-ONS OF ANY KIND. ANY DEVIATION FROM THE SPECIFICATIONS CITED IN THIS APPLICATION AND ITS ATTACHMENTS INVALIDATES THIS APPROVAL.

APPLICATION FOR BUILDING PERMIT - HOLIDAY VILLAGES

(Required for all lot improvements)

Applicant: _____ Subdivision _____

Mailing Address: _____ Lot and Section: _____

_____ Lot Dimensions: _____

Phone (daytime): _____ Phone (evening): _____

Application is hereby made for approval of the following improvements on the above described property:

Applicant agrees that construction cannot commence until this application has been approved by the ACC. Improvements will be constructed/installed according to descriptions, plans and drawings submitted herewith and will and/or installation is not commenced within eight (8) months from approval date and is void if not completed as to exterior finish and appearance within six (6) months from commencement date or within sixty (60) days after a mobile home is moved onto a lot. Applicant further agrees to maintain said improvements after construction/installation in accordance with all Subdivision Restrictions.

APPLICANT MUST FURNISH A SITE PLAN FOR ALL IMPROVEMENTS SHOWING SIZE AND SETBACK DIMENSIONS

1. PERMANENT DWELLING

If permanent dwelling is a site-built structure, you must attach a set of plans and specifications that include a floor plan, site placement drawing and exterior finishes. Then complete all blanks below that are applicable. Pre-fabricated cabins must include photos and manufacturing date. If these items are not included, the permit will be returned.

Minimum floor area (excluding porches, decks, garages, etc.) is 750 square feet. Maximum height is two (2) stories. If you have a cabin with a loft, the ceiling height of the loft must be 7' in order for it to be considered as square footage. Setback rules are shown on the attached Site Placement Drawing.

Purpose/Use: _____ Dimensions: _____ Sq. Ft. _____

Number of Bedrooms: _____ Number of Bathrooms: _____

Siding Material: _____ Finish: _____ COIOF: _____

Under-skirting Material: _____ Finish: _____ COIO1? _____

Roofing Material: _____ Type Foundation: _____

Prefabricated: (new or used): _____ Year of Mfg: _____

REVISED 12-21-2023

MOBILE HOMES:

No mobile home over 5 years old will be approved by the Architectural Control Committee. You must submit the following with this application: (1) two pictures of the mobile home and (2) serial numbers and HUD seal numbers for each section. Pad must be inspected before home is delivered, notify the office when pad is completed.

The mobile home must be tied down within 14 days per Texas law , underpinned and under-skirted within sixty (60) days after placement on a lot.

Year of Mfg: _____ New or Used: _____ Make: _____ Model: _____ Number of Sections _____

Section	HUD Seal Number	Serial Number	Verification
1	_____	_____	_____
2	_____	_____	_____
3	_____	_____	_____

II. STORAGE BUILDING

Minimum size is 30 square feet and maximum size is 144 square feet. The structure may not be used, either temporarily or permanently, as a dwelling. New materials are required for on-site construction and must be completed within thirty (30) days. The exterior of the structure must be painted within sixty (60) days after completion. All prefabricated or existing buildings must include current photos and date of manufacturing. All new construction must include building plans. If all items are not received, the permit will be returned.

Proposed Use: _____ Dimensions: _____ Sq. Ft. _____

Siding Material: _____ Finish: _____ Color: _____
COIOP: _____

Under-skirting Material: _____

Roofing Material: _____ Type Foundation: _____

Prefabricated (new or used): _____ Year of Mfg. _____ New Construction: _____

III. GARAGE/CARPORT (if not attached to dwelling). Minimum size for each: 12' x 20' (Garage must be on a solid foundation such as concrete or caliche that will support the weight of a vehicle and must have an overhead or double doors and be wide enough to accommodate an automobile.)

Purpose/Use: _____ Dimensions: _____ Sq. Ft. _____

siding Material: _____ Finish: _____ Color: _____

Under-skirting Material: _____ Finish: _____ Color _____

Roofing Material: _____ Type Foundation: _____

Prefabricated (new or used): _____ Year of Mfg. _____
New Construction: _____

REVISED 12-21-2023
PROPERTY ENCLOSURES

Minimum setback is 10 feet from the front property line and may be placed on the side or rear lot lines but must not obstruct easements. Residential type fencing materials such as wood or chain link fencing are allowed. Hog wire or chicken wire fencing is not allowed. See ARA guidelines.

Materials: _____ Height: _____

IV. CULVERT AND DRIVEWAY

Minimum driveway width is 20 feet, maximum is 40 feet

Minimum culvert size is 15 inches, and must be set level to provide drainage. **Culverts are subject to inspection and approval by Operations manager prior to covering with fill or concrete.** Include approximate location on your permit drawing.

Applicant hereby confirms the he/she has read and understands the Subdivision Restrictions that cover this property and all improvements made will be in compliance with the Subdivision Restrictions. Applicant acknowledges that the Association has the right to enter the property at anytime, unannounced, during construction for the purposes of confirming compliance. The Association will not discuss any issues with your contractor except in cases where a stop work order must be issued. You as the

All structures and construction materials must come in through the south gate from CR 1214. Delivery of structures requires 3 business days notice to have an attendant at the gate. Call 903 878 7051 to schedule deliveries of structures, inspection for compliance will occur before entry. Access for materials are the responsibility of the property owner, call the office for instructions on material deliveries.

WARNING: if applicant fails to comply with this application and/or the Subdivision Restrictions, Applicant will remove any partially completed improvements and any other improvements on the property that do not comply with the Subdivision Restrictions. If Applicant fails to remove such improvements within 30 days after written notice, Applicant agrees that the Property Owners Association may remove same and Applicant will reimburse all costs of removal.

NAME DATE

NAME DATE

ARA ACTION

Disapproved: Reason _____

Approved: Subject to final inspection and acceptance.

ARCHITECTURAL REVIEW AUTHORITY

Date: _____

By _____

DATE CONSTRUCTION STARTED _____

Final approval and acceptance on this the _____ day of _____.

ARCHITECTURAL REVIEW AUTHORITY

By _____

REVISED 12-21-2023

PLEASE NOTE:

- . Your site will be inspected for compliance with this permit
- . If improvements are not started within 8 months after approval, this permit expires
- . If improvements are not completed to exterior finish and appearance within 6 months after work is started, this permit expires.
- . If the improvements include a manufactured home or modular home and skirting or under pinning is not completed within 60 days of being set in place, this permit expires.
- . If this permit expires, a 90 day renewal may be obtained for a fee of \$50.00 but only if there is good cause for the delay, as determined at the discretion of the ARA.

CONSTRUCTION CAN NOT COMNCE UNTIL THIS APPLICATION HAS BEEN APPROVED BY THE "ARA".

Building Permit Fees Are Payable To The Property Owners Association

Permit fees are due upon application. A minimum of \$25.00 or 1/4 of 1% of the total project cost. Which ever is greater.

Total project cost

Materials _____

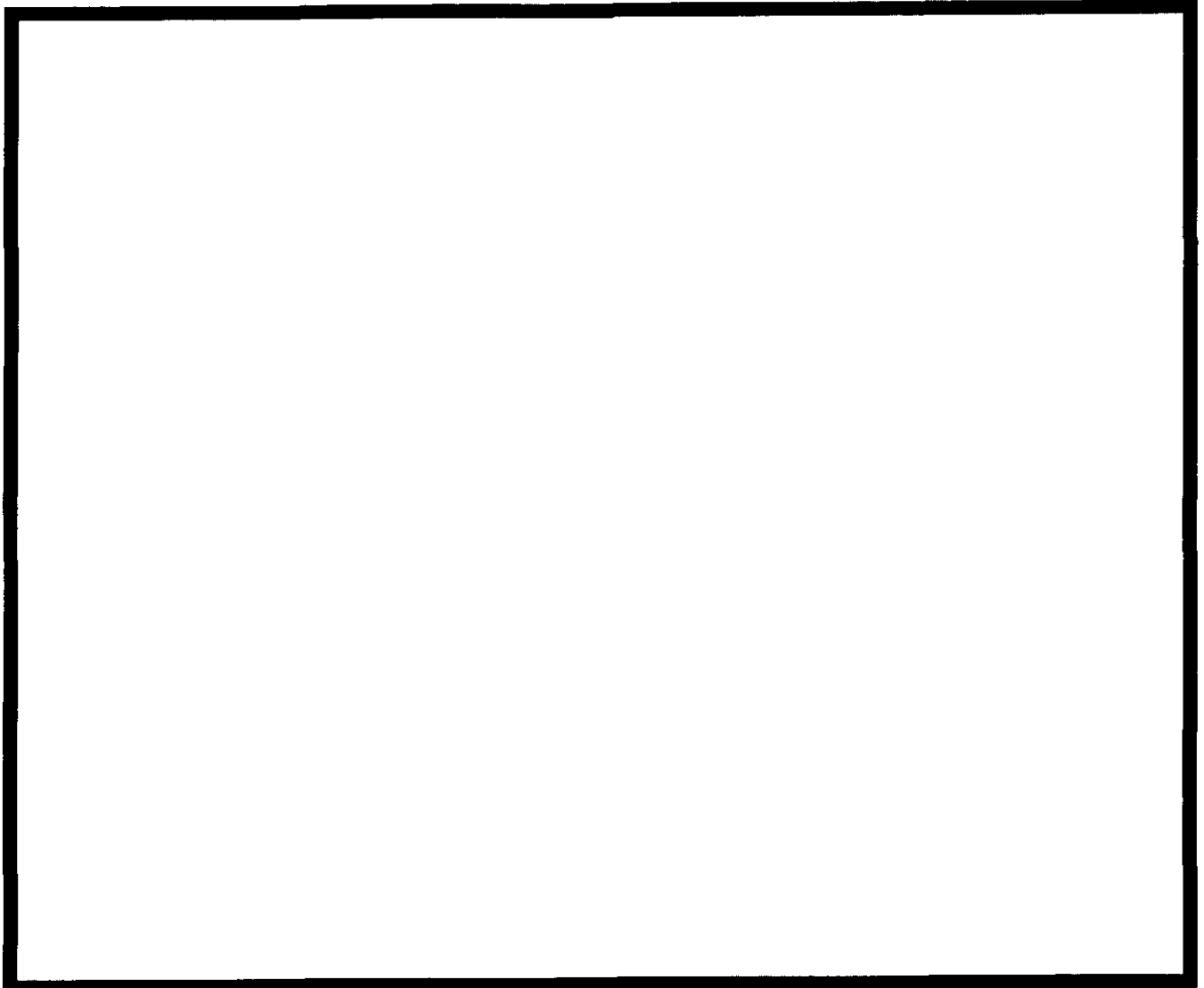
Labor _____

Total _____

Payment due for this application _____

REVISED 12-21-2023

- SITE PLACEMENT DRAWING
-
-



- *SHOW DISTANCES FROM ALL IMPROVEMENTS TO PROPERTY LINES*

MINIMUM SETBACK RULES

	<u>Front property lines</u>	<u>Side and rear lines</u>
Building setback:	10' (18' in Section J of Livingston)	5' (10' in Medina)
Fence setback:	10'	None

Minimum building setback applies to all buildings, overhangs, porches, steps, add-ons, garages, air conditioners and other improvements and fixtures. The placement of all improvements is subject to reserved utility easements.

Minimum square footage for permanent residence: 750 square feet. If you have a cabin with a loft, loft ceiling height must be 7' to be included as square footage.

(NOTE: The property owner should verify these overall requirements with the restrictions for your Section. The general requirements may vary some depending on the area.)