

335 Geronimo
Quitman, Texas 75783

Phone: 903-878-7051
E-mail: operations@hvfpoa.com
Website: holidayvillagefork.com

Property Owners,

January 10, 2024

As we move into 2024, I wanted to let you know what our plans are for the current road issues. We know that Geronimo is a mess, the contractor knows it is a mess. We cannot do anything to correct that until we have warm weather. Like 70 degrees and dry for several consecutive days. Once the weather cooperates the contractor will be back to do warranty work on Geronimo and HV Drive.

At the present time we are only "plugging" the worst of the potholes. When the weather warms up, we will begin repairing potholes as quickly as we can. The tack and sealer we are using now will not be effective unless the temperature remains above 50 degrees. Please be patient, we will do the best we can without wasting money or resources.

About 65% of our roadways do not have a base so the gravel, and thin pavement that was originally put in place is reaching an age where it has begun degrading quickly. The cost to put in a good base, crown all roads and resurface the 11.5 miles of road is in the neighborhood of 13 million dollars. At the present time there is no grants or loan programs available to cover that kind of cost. The result is that we must continue to patch repair using the best methods we can find. Little River Bend was one of those methods, using our crews and putting down a 1-inch overlay. The materials cost of \$10,000.00 plus labor costs \$1250.00 gave us approximately 1/4 mile of smooth road for about \$0.45 cents a square foot. We have also been grading up and grinding some areas reusing the grindings with emulsion to create a smoother surface. Like we did on several areas of Comanche and at the HV Drive and Wapiti intersection. We are planning something similar on Arapaho and on the boat ramp road. Again, all of these projects are going to mean waiting on the weather and planning our funding.

Regular pothole repair in good weather takes between \$5,000.00 and \$7,000.00 a month in materials, the average cost to fix a 12-to-18-inch pothole is approximately \$340.00. (that is labor and material and does not account for machine wear and depreciation).

Tim has begun cleaning and grading ditch areas. Our plan is to go through the subdivision and cut down the berm along the roadways to allow water to drain off the road. This may also involve changing the angle of the ditch, we will do our best to keep the area where it can be mowed. During this process some culverts will need to be pulled up and reset to grade. Owners will be notified if their culvert needs work and when we will be doing their culvert. There were 19 culverts that needed correction, I believe we only have 11 left that need work. The cost for resetting these



culverts will be covered by the Association as long as the culvert itself does not need replaced.

This remediation plan is our effort to help the heavy rains exit the subdivision as efficiently and rapidly as possible. The nature of the soil and the lay of the land here at HVF is such that during the heavy rains we will still have yards that get full of water and some lots will seem flooded. Over the last 2 or 3 years many of the improvements have resulted in less standing water and quicker emptying of the drainage system. It is not perfect, but we are striving to improve the drainage system.

Moving into the new year we are working on 40 + violations, we have stepped in to assist some folks in clearing out clutter/junk. The Board approved giving assistance to homeowners so we could help them take care of some of the violations. Our goal is to help where needed and allow the owner a time payment plan to cover the labor and disposal cost. So far, this plan seems to be helping. At the same time 2 different lots on Cheyenne and 1 on Apache were cleaned up under court order, we want to thank the developer for covering the legal costs and paying for the cleanup.

So, if you have gotten a violation notice and feel you need some help clearing the violation give us a call and see if we can work together while we improve our commUNITY.

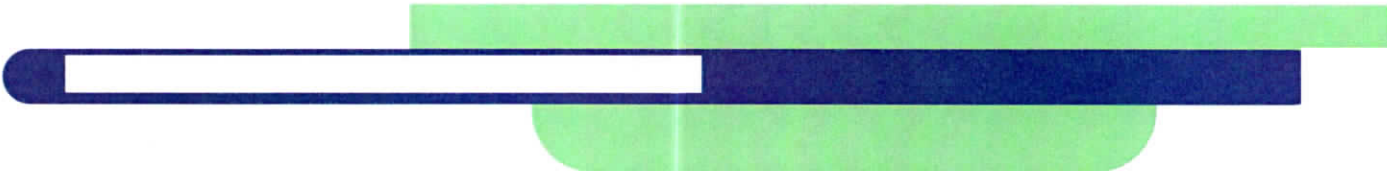
A little bit about the financial end of things. Our collections have been good, not great but better than in past years. A lot of that is due to the efforts put forth by both Sharon and Brenda in the office. Brenda is constantly tracking our receipts and monitoring the mowing program to make sure the billing is done. Sharon is busy most days calling folks on the phone to secure payments for dues. When it gets close to the 15th Sharon is making as many as 15 or 20 calls a day to remind some owners that it is payment day. Can not say enough about the professional attitude and friendly courteous way that these 2 ladies get things done for the membership. They have compiled a complete inventory of our assets showing everything the Association owns. Those assets have been totaled and added to records. This has been the missing step to furnishing you, the owners, with an accurate "balance sheet". You will find a current Balance Sheet attached to this email. We will post the balance sheet to the website on a quarterly basis.

While we are on the subject of dues (assessments) it would be a good time to cover the delinquent accounts. So that you folks know, there are over 40 accounts that have been in arrears long enough that their total debt has reached \$5000.00 per owner.

Some of this has been due to the management companies we were using not being aggressive

335 Geronimo
Quitman, Texas 75783

Phone: 903-878-7051
E-mail: operations@hvfpoa.com
Website: holidayvillagefork.com



enough in the collections department. Just in the last year Sharon has been able to collect \$30,000.00 in past due accounts that were more than 120 days past due. In all since we took over from the management company Sharon has recovered more than \$80,000.00 in past due accounts. Many of these accounts were more than 5 years behind. In fact, we currently have 40 owners that each owe the Association \$5000.00 or more. And a whopping total of \$450,000 that is more than 120 days old. All of these past due accounts are current owners who simply have not paid for years. With the help of our new legal representatives, we expect to be able to take more action on these accounts and correct the injustice created by those who do not pay their fair share.

Going forward there will be some foreclosures as well as other court actions to collect the money you are owed. It has been a challenge, but your Board and administrative staff are working to help secure the future of your POA.

Joe Ammons
General Manager